

DOCUMENT 00 90 00
ADDENDUM

ADDENDUM No.: 1

DATE: April 29, 2024

RE: SPARTA POLICE DEPARTMENT ROOF REPLACEMENT
711 PINE STREET
SPARTA, WISCONSIN 54656
PROJECT NO. 24018

FROM: HSR Associates, Inc
100 Milwaukee Street
La Crosse, WI 54603
(608) 784-1830

TO: Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated April 2024. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of: 2 pages, 1 document, 1 section, and 1 drawing.

DOCUMENT:

1. Pre-Bid Meeting Sign-In Sheet

CHANGES TO GENERAL REQUIREMENTS:

2. Section 01 10 00 Summary
 - a. See the revised section included in this addendum. Disregard the previous version.
 - b. Added new paragraph 1.05.
"1.05 SEPARATE CONTRACTS BY THE OWNER"
 - "A. The Owner will secure separate contracts for the following items:
 - "1. Asbestos abatement. If bid alternate #2 for work indicated as roofing system C is accepted by the Owner then the Owner will arrange for additional testing of the existing materials in the area for asbestos. If asbestos is identified, then the Owner will arrange for removal. Asbestos removal will be administered in accordance with General Conditions paragraph 10.3."

CHANGES TO DRAWINGS

3. Sheet A120 ROOF PLAN - DETAILS 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Added flashing detail #5.
 - c. Revised Key Notes Roof #10 to include an adhered pad below downspout.
 - d. Added label for Key Notes Roof #11 at existing curb in roof system A area.
 - e. Added north/south dimensions and defined a minimum slope of 1/4" per foot in roof system A area.

- f. Removed roof system B from the project. Redesignated the area of roof system B from B to A.
- g. Removed some roof area from Alternate #3 because the area was recently re-roofed as part of a previous project.

END OF DOCUMENT 00 90 00

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**SECTION 01 10 00
SUMMARY**

PART 1 GENERAL

1.01 PROJECT

- A. Refer to Cover Sheet on Drawings for project title and location.
- B. Refer to 00 11 13 Advertisement for Bids for brief description of Project.

1.02 RELATED REQUIREMENTS

- A. Section 01 50 00 - Temporary Facilities: Requirements for temporary utilities.
- B. Section 01 70 00 - Administrative Requirements: Contract limits and protection of existing conditions.

1.03 CONTRACT DESCRIPTION

- A. Contract Type: A single prime contract based on a Stipulated Price as described in Document 00 52 00 - Agreement Form.

1.04 PHASED CONSTRUCTION

- A. The Work shall be conducted in a single phase.

1.05 SEPARATE CONTRACTS BY THE OWNER

- A. The Owner will secure separate contracts for the following items:
 - 1. Asbestos abatement. If bid alternate #2 for work indicated as roofing system C is accepted by the Owner then the Owner will arrange for additional testing of the existing materials in the area for asbestos. If asbestos is identified, then the Owner will arrange for removal. Asbestos removal will be administered in accordance with General Conditions paragraph 10.3.

1.06 WORK BY OTHERS

- A. Items indicated "N.I.C." on the Project Drawings will be furnished and installed by others not a party to the Prime Contracts.

1.07 OWNER OCCUPANCY

- A. Owner intends to continue to occupy the existing building during the entire construction period.
- B. Owner intends to occupy the Project area upon Substantial Completion.
- C. Cooperate with Owner to minimize conflict and to facilitate Owner's operations.
- D. Schedule the Work to accommodate Owner occupancy.

1.08 CONTRACTOR USE OF SITE AND PREMISES

- A. Construction Operations: Limited to areas noted on Drawings.
- B. Arrange use of site and premises to allow:
 - 1. Owner occupancy.
 - 2. Work by Others.
 - 3. Work by Owner.
- C. Provide access to and from site as required by law and by Owner:
 - 1. Emergency Building Exits During Construction: Keep all exits required by code open during construction period; provide temporary exit signs if exit routes are temporarily altered.
 - 2. Do not obstruct roadways, sidewalks, or other public ways without permit.
- D. Time Restrictions:
 - 1. Work on the Project shall be done during normal working hours. If at any time during construction it becomes necessary to accelerate the Work in order to meet completion dates for portions or all of the Work, all trades shall work overtime at no additional cost to Owner.
- E. Utility Outages and Shutdown:
 - 1. Notify Owner within 48 hours of necessary interruptions of services including, but not limited to: HVAC systems, water service (hot & cold), electrical service, communications systems.
 - 2. Do not disrupt or shut down life safety systems, including but not limited to fire sprinklers and fire alarm system, without 7 days notice to Owner and authorities having jurisdiction.

3. Prevent accidental disruption of utility services to other facilities.

1.09 CONSTRUCTION SCHEDULE

- A. Date of Commencement of the Work: Upon signed agreement.
- B. Date of Substantial Completion: December 31, 2024.
- C. Final Completion: The completion of all Work according to the contract Documents, approved by the AE and accepted by the Owner shall be within 30 days after the Date of Substantial Completion.
- D. Exceptions: The only exceptions to the above completion dates are delay or termination because of a national emergency and/or extension of time for completion claimed and allowed according to the General Conditions and/or Supplementary Conditions.

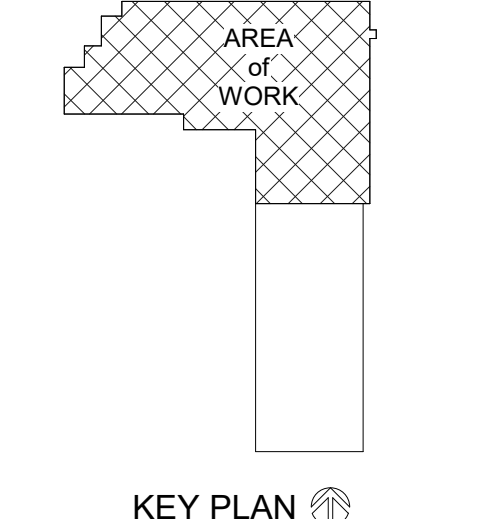
1.10 WORK SEQUENCE

- A. Coordinate construction schedule and operations with A/E.

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION



REVIEW
NOT FOR
CONSTRUCTION

No.	Description	Date
A01	Addendum 1	04-29-24

Graphic Scale: VARIES

Last Update: 4/23/2024 3:02:24 PM

A120

GENERAL ROOF NOTES:

- SEE ROOF SYSTEM NOTES FOR MINIMUM AND AVERAGE INSULATION VALUES.
- ROOFING CONTRACTOR TO VERIFY ALL TAPERED INSULATION DRAWING PLAN DRAIN LOCATIONS WITH PHYSICAL LOCATION OF ROOF DRAIN AS INSTALLED BY PLUMBING TRADES PRIOR TO APPROVAL OF TAPERED INSULATION SUBMITTAL DRAWING.
- VERIFY ROOF EQUIPMENT AND PENETRATIONS WITH ALL TRADES. EQUIPMENT SHOWN IS GRAPHIC ONLY.
- ROOF PENETRATIONS FOR DRAINS, VENTS, ETC. SHALL BE COMPLETED AS PER CURRENT SMACNA REQUIREMENTS AND THE ROOF MANUFACTURERS APPROVED DETAILS FOR WARRANTY SATISFACTION. COORDINATE QUANTITY AND LOCATIONS WITH MEP CONTRACTOR. PROVIDE CURBS WHERE REQUIRED.
- ALL METAL ROOF AND FLASHING SHALL MEET CURRENT SMACNA REQUIREMENTS AND MANUFACTURERS SPECIFIED WARRANTY.
- TOP OF WALL BLOCKING SHOWN IS GRAPHIC. PROVIDE BLOCKING THAT SHALL BE ANCHORED TO WALL BELOW AS RECOMMENDED BY ROOFING SYSTEM MANUFACTURER TO WITHSTAND WIND UPLIFT AS STATED IN CODE. TOP OF WALLS SHALL SLOPE TOWARDS ROOF.
- INSTALL BOND BREAK BETWEEN ALL WOOD BLOCKING AND CMU OR CONCRETE.

ROOF SYSTEM DESCRIPTIONS:

- FLAT ROOF STRUCTURE: ADHERED, SINGLE MEMBRANE ROOFING SYSTEM ON 1/4" PER FOOT TAPERED POLYISOCYANURATE INSULATION SYSTEM CONSISTING OF TAPERED INSUL OVER MINIMUM 6" ADHERED BASE LAYER (MIN 2 LAYERS), INSULATION R-VALUE = 5.7 PER INCH. INSTALL INSULATION W/ STAGGERED JOINTS OVER SHEETFIELD TILE DECK. R 34 MIN.
- NOT USED
- GABLE STRUCTURE: ADHERED, SINGLE MEMBRANE ROOFING SYSTEM ON FLAT POLYISOCYANURATE INSULATION SYSTEM OVER MINIMUM 6" MECHANICALLY FASTENED BASE LAYER (MIN 2 LAYERS), INSULATION R-VALUE = 5.7 PER INCH. INSTALL INSULATION W/ STAGGERED JOINTS OVER DECK. R 34 MIN. (ALTERNATE #2)
- FLAT ROOF STRUCTURE: ADHERED, SINGLE MEMBRANE ROOFING SYSTEM ON 1/4" PER FOOT TAPERED POLYISOCYANURATE INSULATION SYSTEM CONSISTING OF TAPERED INSUL OVER MINIMUM 6" MECHANICALLY FASTENED BASE LAYER (MIN 2 LAYERS), INSULATION R-VALUE = 5.7 PER INCH. INSTALL INSULATION W/ STAGGERED JOINTS OVER DECK. R 34 MIN. (ALTERNATE #3)

ROOF PLAN LEGEND:

- ◇ SYMBOL INDICATES REMOVAL NOTE THIS SHEET
- △ SYMBOL INDICATES KEY NOTE THIS SHEET
- AIR INTAKE/EXHAUST VENT
- PLUMBING VENT

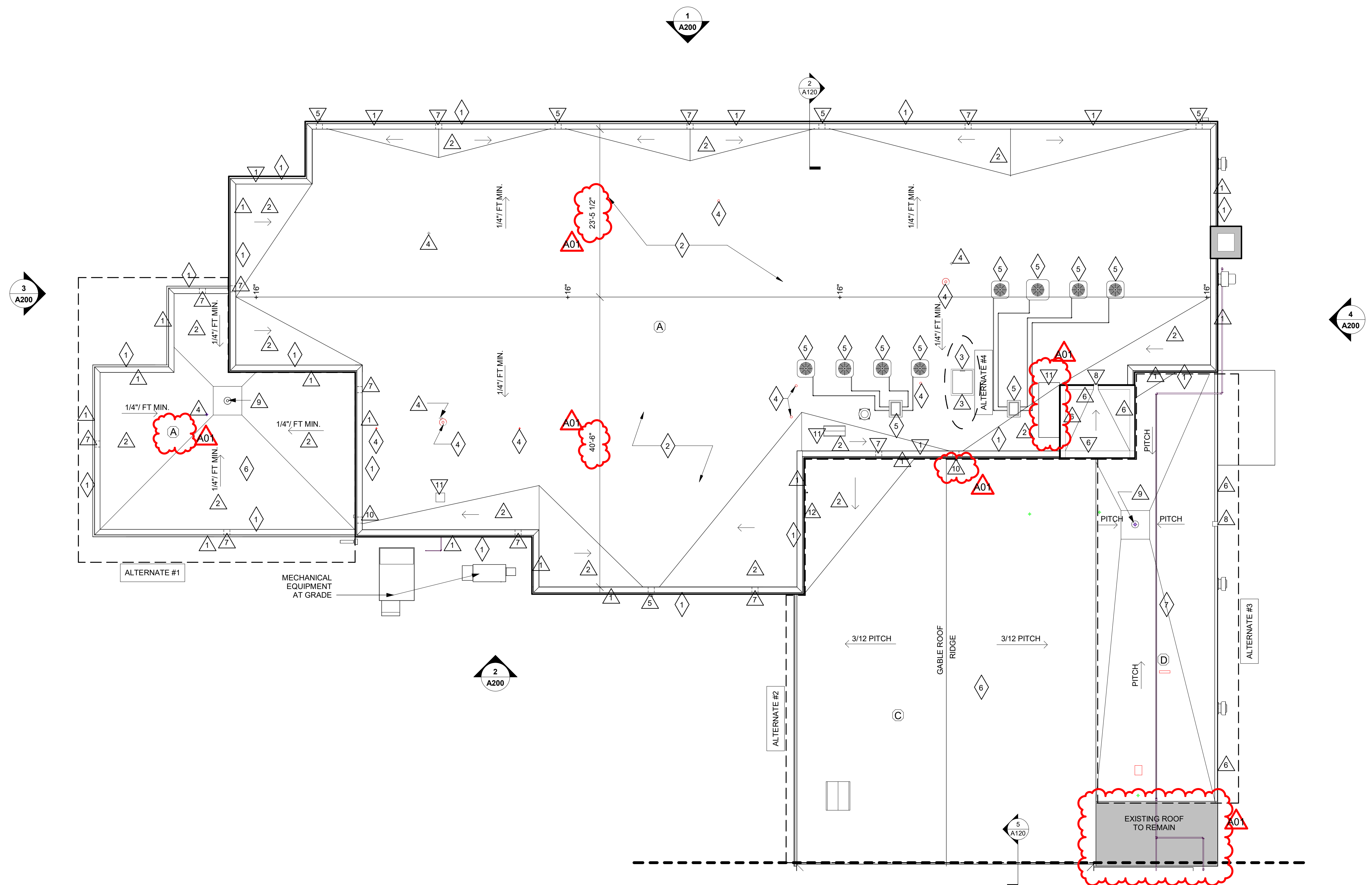
KEY NOTES ROOF

- PRE-FINISHED SHEET METAL FLASHING CAP AT NEW PARAPET. TYPICAL AT ALL PERIMETER LOCATIONS. SEE 2A120.
- ROOF CRICKET (TAPERED INSULATION).
- NEW ROOF HATCH. VERIFY EXACT SIZE OF EXISTING (33"x39"). (ALTERNATE #4). RAISE HEIGHT AS REQUIRED FOR NEW INSULATION THICKNESS.
- EXISTING VENT PIPE TO REMAIN. EXTEND AS REQUIRED FOR NEW TAPERED INSULATION. INSTALL NEW BOOT.
- THRU-WALL SCUPPER WITH COLLECTION BOX AND PREFINISHED OPEN FACE DOWNSPOUT. CONCRETE SPLASH BLOCK AT GRADE. SEE DETAIL 5A120.
- PRE-FINISHED SHEET METAL GRAVEL STOP.
- OVERFLOW SCUPPER: 2" ABOVE MAIN SCUPPER. SEE DETAIL 4A120.
- SCUPPER AT GRAVEL STOP.
- EXISTING ROOF DRAIN. ADJUST AS REQUIRED FOR NEW INSULATION. PROVIDE 2" SUMP.
- THRU-WALL SCUPPER WITH COLLECTION BOX AND PREFINISHED OPEN FACE DOWNSPOUT. DISCHARGE TO ADHERED PAD AT LOWER ROOF. MECHANICAL EQUIPMENT. RECONNECT AFTER ROOF INSTALLATION.
- DISCONNECT, REMOVE, AND RAISE/RECONSTRUCT CURB FOR EXISTING MECHANICAL EQUIPMENT. RECONNECT AFTER ROOF INSTALLATION.
- ROOF CRICKET. KEEP THICKNESS BELOW EXISTING LOUVER.

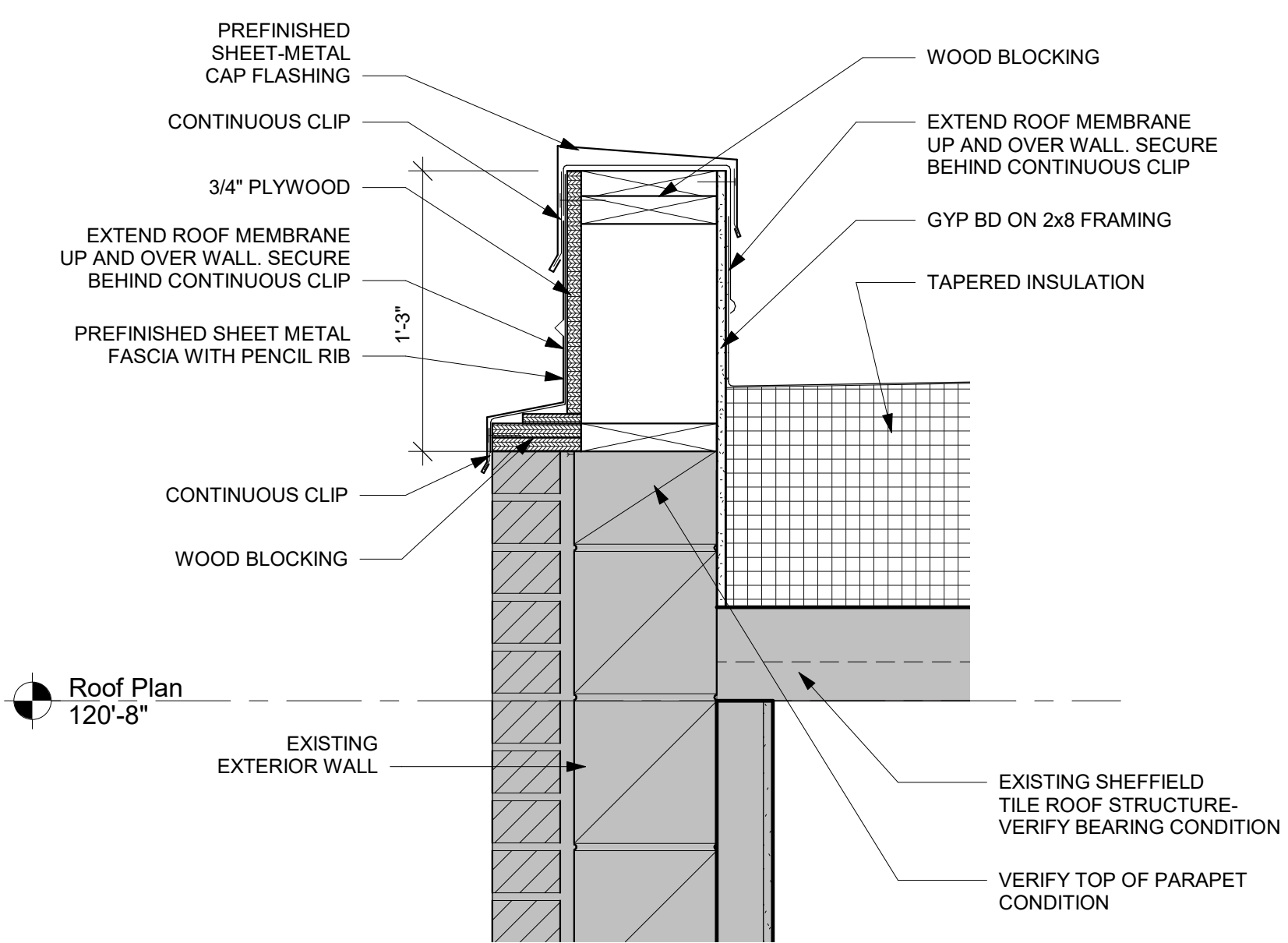
KEY NOTES REMOVAL

- REMOVE METAL CAP FLASHING, MEMBRANE AND BLOCKING TO CMU/ BRICK.
- REMOVE MEMBRANE ROOF AND ISO INSULATION TO CLAY TILE BASE/ DECK.
- REMOVE ROOF HATCH.
- REMOVE ROOF DRAIN VENT PIPE TO BELOW ROOF DECK. COVER OPENING AS REQUIRED FOR NEW ROOFING MATERIAL. OWNER TO HIRE PLUMBER TO CAP INTERNAL ROOF DRAIN LEADER INSIDE BUILDING. ROOFER TO CAP ROOF DRAIN AT ROOF SURFACE.
- TEMPORARY DISCONNECT MECHANICAL EQUIPMENT, INCLUDING ELECTRICAL AND REFRIGERANT. RAISE HEIGHT AS REQUIRED FOR NEW INSULATION THICKNESS. RECONNECT AFTER ROOF INSTALLATION. REMOVE EXISTING CURBS FOR INSTALLATION.
- REMOVE MEMBRANE ROOF AND ISO INSULATION TO WOOD DECK.
- REMOVE BALLAST AND BUILT UP ROOFING TO DECK.

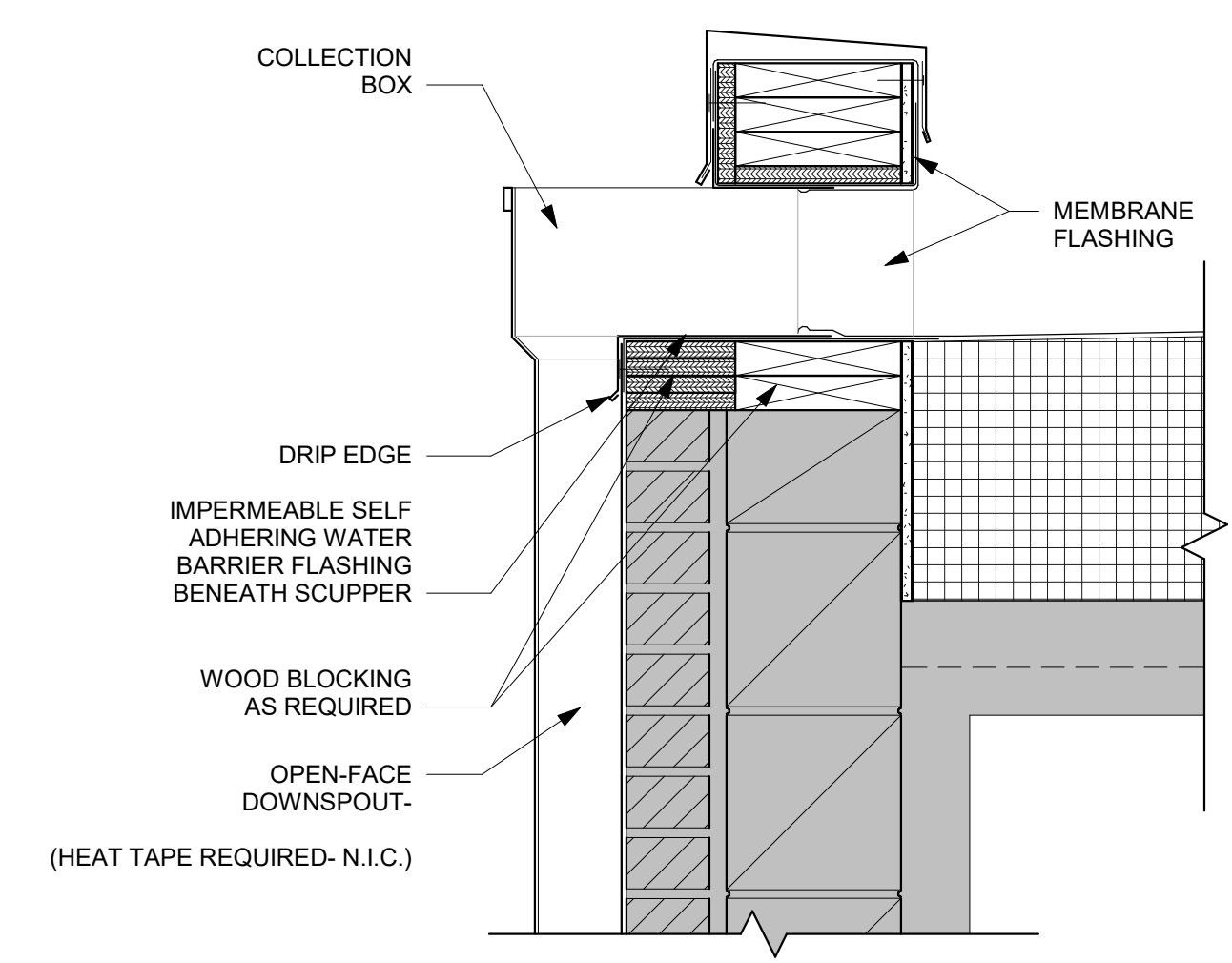
NOTE REGARDING SHEFFIELD TILE:
THIS BUILDING WAS CONSTRUCTED OF A SHEFFIELD TILE FLOOR AND ROOF SYSTEM. THIS SYSTEM WAS NEW AND EXPERIMENTAL AT THE TIME WITH SEVERAL SYSTEMS IN USE AT THE TIME. IT HAS PROVEN TO BE TROUBLESOME AS IT FAILS WITHOUT WARNING DUE TO DESIGN AND CONSTRUCTION ISSUES AND THE BRITTLINESS OF THE TILES. IT IS SENSITIVE TO OVER LOADING AND CORING. THE SYSTEM HAS NO REAL WAY TO SHARE LOADS AROUND OPENINGS LIKE TODAY'S PRECAST PLANK HEADER SYSTEM. SO CHASES AND LARGER OPENINGS OFTEN REQUIRE LARGER STRUCTURAL FRAMED OPENINGS. THE FLOOR AND ROOF AT THIS BUILDING HAVE BEEN SURVEYED IN THE PAST AND NOTED DEFLECTION HAS OCCURRED IN SEVERAL ROOMS. THIS DEFLECTION HAS ENGAGED A NORMALLY NON-STRUCTURAL WALL INTO A BEARING CONDITION.
THE DESIGN TEAM HAS ATTENDED TO MOST OPENINGS ANTICIPATED FOR FINAL CONSTRUCTION OF THE RENOVATION. IT IS RECOMMENDED THAT THE ROOFS ARE NOT USED FOR STORAGE OF MATERIALS. MEANS AND METHODS APPROACHES TO CORING, LOADING AND TEMPORARY CONSTRUCTION SHOULD BE REVIEWED BY THE CONTRACTOR AND THEIR TEAM TO ASSURE THE SAFETY OF PERSONNEL AND THE STABILITY OF THE STRUCTURE.



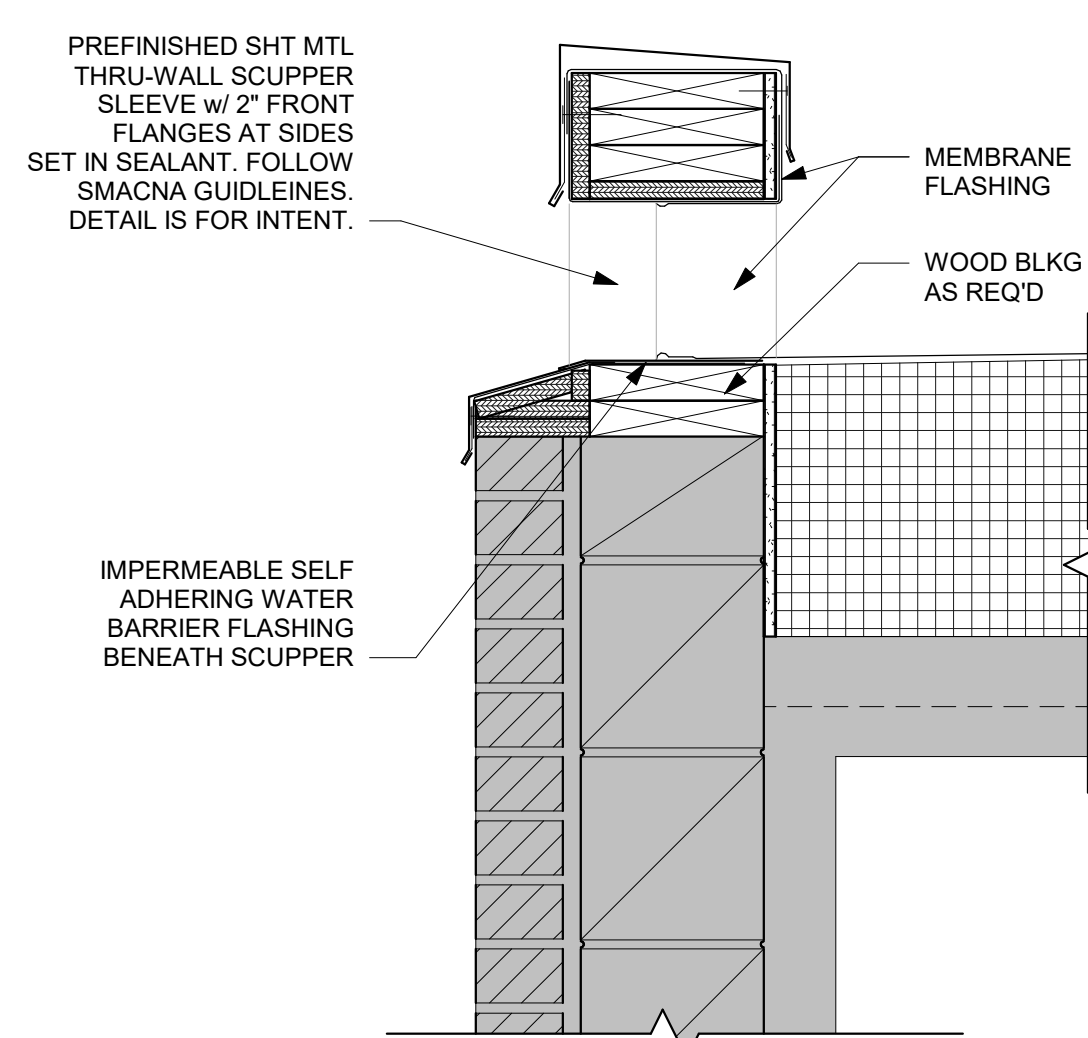
1 ROOF PLAN
1/8" = 1'-0"



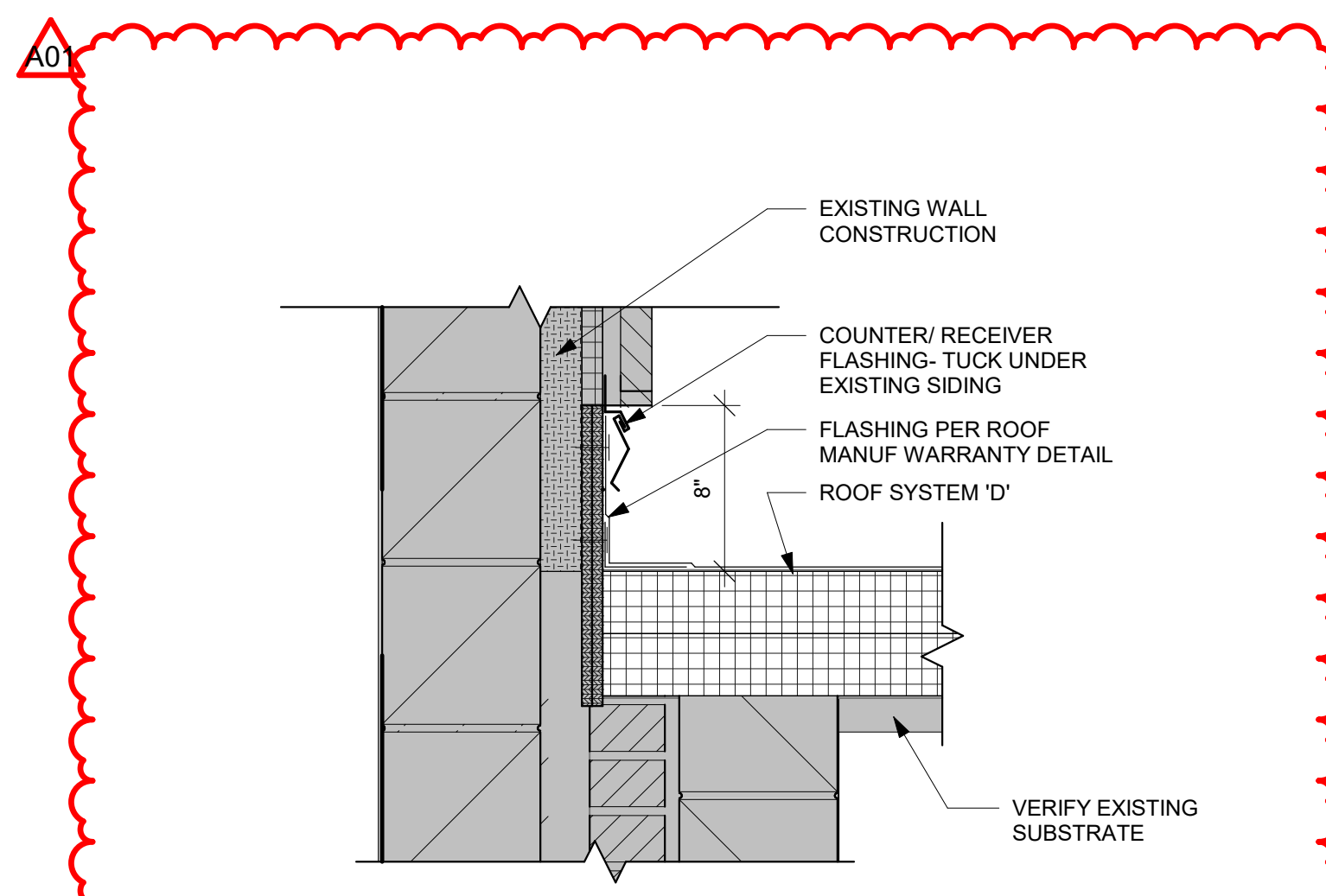
2 PARAPET DETAIL
1 1/2" = 1'-0"



3 THRUWALL SCUPPER
1 1/2" = 1'-0"



4 OVERFLOW SCUPPER
1 1/2" = 1'-0"



5 FLASHING DETAIL
1 1/2" = 1'-0"
ALTERNATE #3